

FINAL PLAT FOR: GROVE PARK

OWNER'S CERTIFICATE

THE OWNER OF THE LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED HERETO, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, CERTIFIES THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY, THAT ALL STATE, CITY AND COUNTY TAXES OR OTHER ASSESSMENTS NOW DUE ON THIS LAND HAVE BEEN PAID, THAT ALL STREETS, WATER SYSTEMS, DRAINS AND DRAINAGE EASEMENTS, AND PUBLIC PLACES SHOWN ARE DEDICATED TO THE USE OF THE PUBLIC FOREVER.

[Signature]
OWNER
3/12/04
DATE

COVENANTS

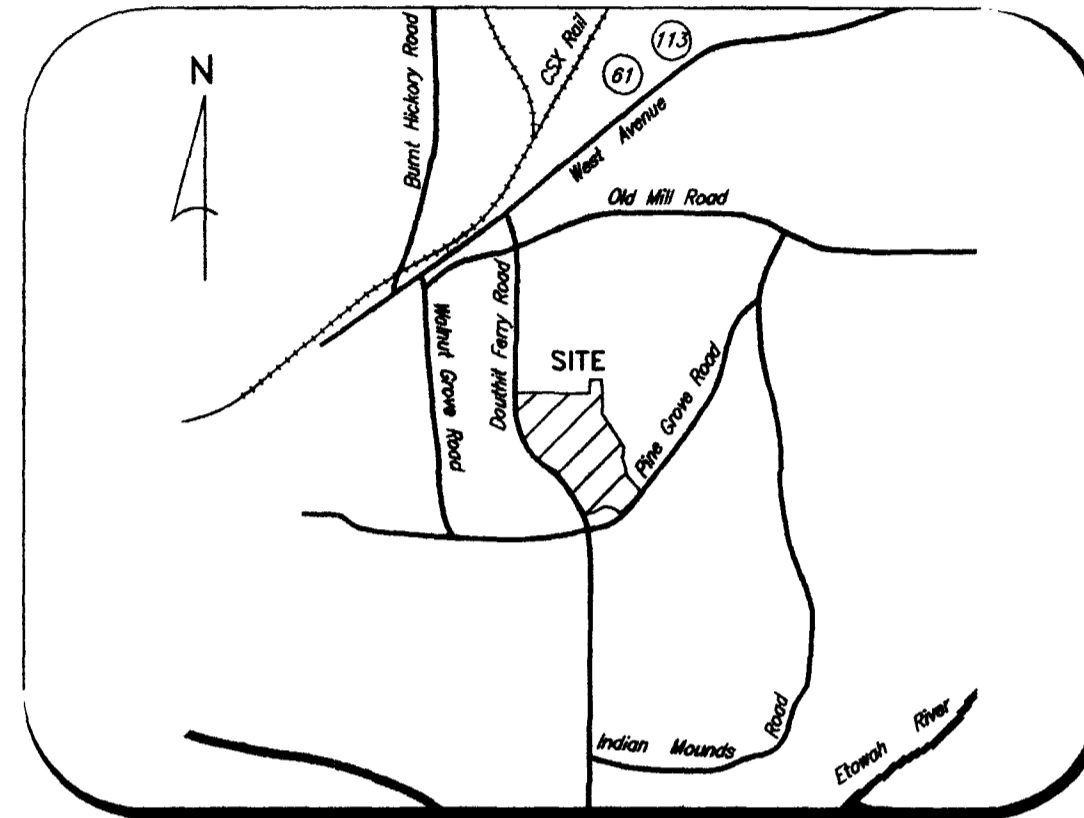
THIS PLAT IS SUBJECT TO THE COVENANTS SET FORTH IN THE SEPARATE DOCUMENT(S) ATTACHED HERETO DATED _____, WHICH HEREBY BECOME A PART OF THIS PLAT, AND WHICH WERE RECORDED IN PLAT BOOK _____ PAGE _____.

TECHNICAL DATA

DATE OF SURVEY: 01/7/2004
EQUIPMENT USED: TOPCON GTS3B ELECTRONIC TOTAL STATION
ANGULAR ERROR: 03 SECONDS/SETUP
PRECISION: ONE FOOT IN 15,000±
TYPE OF ADJUSTMENT: LEAST SQUARES
PLAT CLOSURE: 1 FOOT IN 100,000±

SITE DATA

DEVELOPER: PINE GROVE LLC
P.O. BOX 1733
CARTERSVILLE, GA 30120
770-382-7265
OWNER: SAME AS ABOVE
ENGINEER/SURVEYOR: HIGHLAND ENGINEERING, INCORPORATED
ONE DUNWOODY PARK, SUITE 205
ATLANTA, GA. 30338
770-225-2121
SITE AREA: 43.44 ACRES 1,892,190 SQ.FT.



LOCATION MAP

NOT TO SCALE

CITY OF CARTERSVILLE CERTIFICATE

IN ACCORDANCE TO THE CITY OF CARTERSVILLE DEVELOPMENT REGULATIONS AND THE CITY'S ZONING ORDINANCE, ALL REQUIREMENTS OF APPROVAL HAVING BEEN FULFILLED, THIS PLAT WAS GIVEN FINAL APPROVAL BY THE FOLLOWING CITY PERSONNEL ON BEHALF OF THE CITY OF CARTERSVILLE:

[Signature]
Randy Mammone
ZONING ADMINISTRATOR
3/18/04
DATE

WATER SUPERINTENDENT, DATE

[Signature]
Bobby C. Elliott
CITY ENGINEER
3/18/04
DATE

NOTE

ALL 20' DRAINAGE EASEMENTS ARE CENTERED ON PIPES & DITCHES

MARCH 18 2004
137A-1858
SEARCHED
(1 of 3 plates)
JUC

SETBACKS

- * SETBACK REQUIREMENTS ARE AS FOLLOWS:
FRONT- 20 FEET (INTERIOR STREET)
FRONT- 40 FEET (THOROUGHFARE)
SIDES- 10 FEET
REAR- VARIES (ZONING CONDITIONS)
- * MINIMUM LOT SIZE IS 6,000 SQUARE FEET.
- * MINIMUM LOT WIDTH IS 70 FEET. (AT BUILDING LINE)
- * 103 TOTAL LOTS

SURVEYOR'S CERTIFICATE

IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY BY ME OR UNDER MY SUPERVISION, THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST OR ARE MARKED "FUTURE AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN, AND THAT ALL REQUIREMENTS OF THE DEVELOPMENT AND ZONING REGULATIONS HAVE BEEN FULLY COMPLIED WITH.

[Signature]
SURVEYOR
3/17/04
DATE

NOTES

INFORMATION REGARDING THE PRESENCE, SIZE AND LOCATION OF UNDERGROUND UTILITIES IS SHOWN HEREON. THIS INFORMATION HAS BEEN SHOWN BASED ON THE LOCATION OF THE ABOVE GROUND APPURTENANCES, AVAILABLE DESIGN PLANS, AND FLAGS AND PAINT PLACED BY THE UTILITY PROTECTION SERVICE. NO CERTIFICATION IS MADE AS TO THE ACCURACY OR THOROUGHNESS OF THE INFORMATION CONCERNING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON. PER GEORGIA LAW, THE UNDERGROUND UTILITIES PROTECTION SERVICE MUST BE CALLED PRIOR TO THE COMMENCEMENT OF ANY AND ALL EARTH DISTURBING ACTIVITIES.

EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT PARCEL(S): EASEMENTS, BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR, OTHER LAND-USE REGULATIONS; AND ANY OTHER FACT(S) THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

THIS PROPERTY IS NOT SHOWN TO BE LOCATED WITHIN THE LIMITS OF A DESIGNATED 100 YEAR FLOOD HAZARD AREA ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NO. 130209 0005 E, DATED JUNE 1, 1984. THIS STATEMENT IS BASED ON GRAPHICALLY LOCATING THIS PROPERTY ON SAID MAP.

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

BOUNDARY DATA FOR SUBJECT TRACT IS DERIVED FROM A SURVEY BY SMITH & SMITH SURVEYORS, DATED 8/30/90 (LAST REVISED 8/29/95)

ALL PROPERTY CORNERS SET ARE #4 REBAR

DRAINAGE EASEMENTS OUTSIDE OF R/W SHALL BE MAINTAINED BY PROPERTY OWNER.

ALL SIDEWALKS ARE PROPOSED

PROPERTY CORNER LEGEND

#4 R.S.	●	#4 REBAR SET
#4 R.F.	○	#4 REBAR FOUND
O.T.F.	○	OPEN TOP FOUND
C.T.F.	○	CRIMPED TOP FOUND
C.N.S.	△	CORNER NOT SET
C.M.F.	⊠	CONC. MONUMENT FOUND

F.B. 03-02C-P.G. 11-30

SHEET 1-OF-8

534-FP.dwg

FINAL PLAT FOR: GROVE PARK

Land Lot 703,704,737,738,775 & 776,
4th DISTRICT - 3rd SECT - BARTOW COUNTY, GEORGIA
CITY OF CARTERSVILLE

Project No.	No	Revision	Date
00-534	1		
Surveyed By: W.J.B.	2		
Drawn By: M.O.F.	3		
Checked By: S.M.H.	4		
Date: 2/17/04	5		
Scale: 1" = 60'	6		
	7		
	8		

PINE GROVE LLC

P.O. BOX 1733
CARTERSVILLE, GEORGIA
30120

Office: 770-382-7265

HIGHLAND ENGINEERING, INC.
ONE DUNWOODY PARK, SUITE 205
ATLANTA, GEORGIA 30338
PH: 770-225-2121 FAX: 770-225-2222
5 PUBLIC SQUARE, SUITE 302
CARTERSVILLE, GEORGIA 30120
PH: 770-687-1300 FAX: 770-687-1333



March 18
March 19
March 20
March 21
March 22
March 23
March 24
March 25
March 26
March 27
March 28
March 29
March 30
March 31

Ordinance
of the
City of Cartersville, Georgia
Ordinance No. 31-02

NOW BE IT AND IT IS HEREBY ORDAINED by the Mayor and City Council of the City of Cartersville, Georgia, that all that certain tract of land owned by DTG/Highland Pointe, LLC. Property is located the Northeast corner of Pine Grove Road and Donhit Ferry Roads. Said property contains 52.436 acres located in the 4th District, 3rd Section, Land Lot 666,703,704,737,738,775 and 776, as shown on the attached plat Exhibit "A". Property is hereby rezoned from R-20 (S/F Residential) to P-D (Planned Development) with the following conditions. Zoning will be duly noted on the official zoning map of the City of Cartersville, Georgia.

1. Development Standards:
 - a. Max. Lot Coverage: 40% Min. Lot Width: 70 ft. at Bldg. Line
 - b. Max Density: 104 lots with 36,000 sq. ft. of commercial
 - c. Min. Lot Frontage: 35 ft. on cul-de-sac, 60 ft. normal
 - d. Min. Heated Floor Area: 1,500 sq. ft.
 - e. Min. Lot Size: 6,000 sq. ft.
 - f. Min. Interior Setback: Front - 20 ft.; Side - 10 ft.
 - g. Min. Buffer Requirements: 75 ft. adjacent to Wellington Subdivision; 50 ft. remainder
 - h. Min. Open Space: 9.5 acres minus add. 25 ft. adj. To Wellington (approx. 0.96 acs.)
2. Only the following proposed commercial uses will be allowed for the development.
 - a. Clinics and/or Medical Offices (excludes veterinary)
 - b. Clubs and Lodges (non-commercial)
 - c. Construction contractors, General Building Contractors and Special Trade Contractors (provided there is no exterior storage of equipment, materials, and construction vehicles)
 - d. Financial Institutions
 - e. Institutions of Higher Learning, Business Colleges, Music Conservatories, and similar institutions.
 - f. Offices - Professional and/or General
 - g. Assembly Halls
 - h. Barber Shops
 - i. Beauty Salons
 - j. Dancing Schools
 - k. Catering, Carry-out, Delivery

- l. Delicatessens and/or Restaurants (without drive-thru facilities)
- m. Gymnasiums/Health Clubs
- n. Laboratories (medical and dental)
- o. Research Laboratories
- p. Laundry/Dry Cleaning Pick-up Stations
- q. Art Galleries; Libraries; Museums
- r. Neighborhood Recreational Centers
- s. Office Parks
- t. Religious Institutions
- u. Retail, General (excluding Retail Package Stores (Liquor), or other businesses having primary sales of package beer and/or wine; convenience stores, drug stores/pharmacy, and automobile part stores)
- v. Theaters
- w. Wholesale Sales Offices

3. Additional Conditions:
 - a. A seventy-five (75) foot undisturbed buffer will be kept along the eastern edge of the Grove Park subdivision, where it adjoins the Wellington Subdivision. A fifty (50) foot undisturbed buffer will be kept along the northern edge of the subdivision, as shown on the plat. The covenants of the subdivision shall contain language requiring the buffers be maintained undisturbed, requiring the Grove Park Home Owners' Association and the Wellington Home Owners' Association to enforce the buffers. Each individual deed shall also be required to contain the restriction that the buffer shall remain undisturbed. The buffer zone shall be clearly marked during construction.
 - b. No fences may be erected within the buffer zone. Any land disturbance or other destruction of the buffer, including clearing for drainage easements, and including blight, disease or other external causes, shall be restored. Maintenance and restoration of the buffer shall be the responsibility of the Grove Park Home Owners' Association and the lot owner.
 - c. The rear building setback, including the buffer zone, shall be a minimum of 85 feet along the eastern boundary of the development, and shall be a minimum of 60 feet along the northern boundary of the development. No building may be erected closer than a minimum of 10 feet from the undisturbed buffer.
 - d. The proposed ponds shall be engineered and designed to stay full, wet and un-obscured by vegetation and algae, and shall have a well if necessary for that purpose. It is not guaranteed

- e. Commercial space shall be limited to a total of 30,000 square feet, with a maximum of 20,000 on the first floor and a minimum of 10,000 on the second floor (restaurants may be placed on the first floor). No residential uses or living shall be allowed in the commercial building or area. There shall also be allowed up to an additional 6,000 square feet of stand-alone restaurants. No single restaurant can exceed 4,500 square feet. Parking areas shall be landscaped with landscape islands in accordance with the Landscape Ordinance of the City of Cartersville.
- f. Commercial users shall be restricted to those proposed by the Planning Commission, except no car washes shall be permitted.
- g. Architectural Covenants. Grove Park residential development will be governed by Covenants as submitted by the developer, which are modified Wellington provisions. The modified Wellington, Carrington and Dearfield III Design Standards shall also be adopted by the Grove Park Architectural Control Committee. The house plans submitted to the City are approved for construction. Other plans may be built provided they are approved by the Grove Park Architectural Control Committee for compliance with the Covenants and Design Standards.
- h. Architectural Control Committee. The initial Architectural Control Committee will consist of a landscape architect (initially Jay Scott), two developer representatives (initially Gary Temples and Don Temples), one representative chosen by the Wellington Homeowners Association board, and one representative chosen by the Carrington Homeowners Association board. After ten houses have been sold (meaning after final closing), one developer representative will be replaced by one Grove Park homeowner. After twenty houses have been sold, the Carrington representative will be replaced by a Grove Park homeowner. After thirty houses have been sold, the Wellington representative will be replaced by a Grove Park homeowner. After 52 houses have been sold, the other developer representative will be replaced by a Grove Park homeowner.
- i. A separate Commercial Architectural Control Committee will be formed consisting of the initial residential Architectural Control Committee. The Commercial Architectural Control Committee will have the authority to approve plans for the

- j. erection of commercial structures. Commercial structures shall be designed to be similar to and in harmony with the residential portion of the Grove Park development, and shall use similar exterior building materials and architectural elements.
- k. The developer will add at least one shade tree of two-inch caliper to the front yard of every developed lot in the subdivision.
- l. The pool shall have a minimum surface area of 1200 square feet.
- m. No commercial building permit will be issued until July 2, 2003 although land disturbance permits and infrastructure development shall be allowed prior to July 2, 2003.
- n. All conditions will be noted on the plat/warranty deed/covenants and will run with the properties.
- o. The plat submitted is hereby made a part of the ordinance and is attached hereto as Exhibit "A".
- p. The house plans submitted to the Mayor and City Council are made a part of this Ordinance and are attached hereto as Exhibit "B".

BE IT AND IT IS HEREBY ORDAINED.

ADOPTED this the 20th day of June 2002. First Reading
ADOPTED this the 2nd day of July 2002. Second Reading.

/s/
Michael G. Fields
Mayor

ATTEST:

/s/
Sandra E. Cline
City Clerk

C:\WORK\2002\2002\Law Firm\Proposed\Active\City of Cartersville\Revised\31-02.dwg Highland Pointe, LLC

F:\B.03-02C-P.G.11-30

SHEET 2-OF-8

534-FP.dwg

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GROVE PARK

Land Lot 703,704,737,738,775 & 776,
4th DISTRICT - 3rd SECTION - BARTOW COUNTY, GEORGIA
CITY OF CARTERSVILLE

Project No.	No	Revision	Date
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Drawn By: M.O.F.	3		
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PINE GROVE LLC

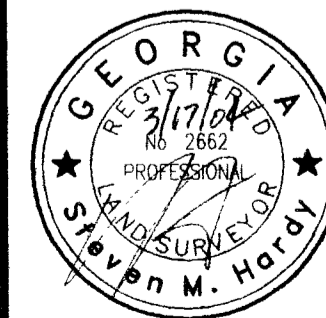
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HIGHLAND
ENGINEERING, INC.

ONE DUNWOODY PARK, SUITE 205
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PH: 770-225-2121 FAX: 770-225-2222

5 PUBLIC SQUARE, SUITE 302
CARTERSVILLE, GEORGIA 30120
PH: 770-607-1300 FAX: 770-607-1333



LINE	BEARING	LENGTH
L1	S85°50'00"W	25.88
L2	N49°10'00"W	20.06
L3	N06°43'51"W	5.67
L4	N06°43'51"W	11.59
L5	N30°38'32"W	9.19
L6	N30°38'32"W	70.00
L7	N30°38'32"W	62.74
L8	N21°47'39"E	6.94
L9	N21°47'39"E	28.72
L10	S21°47'39"W	29.14
L11	S39°40'12"E	8.27
L12	S77°43'29"W	73.55
L13	S84°43'21"W	52.43
L14	S88°44'57"E	20.49
L15	N68°43'22"E	39.83
L16	N83°16'09"E	14.95
L17	N83°16'09"E	70.00
L18	N83°16'09"E	73.83
L19	S06°43'51"E	30.76
L20	N09°46'00"W	25.71
L21	N09°46'00"W	36.19
L22	S77°43'29"W	48.98
L23	S08°56'54"E	29.90
L24	S08°56'54"E	10.00
L25	S08°56'54"E	10.62
L26	S88°59'33"W	41.46
L27	S88°59'33"W	0.42
L28	N79°04'11"W	45.47
L29	N66°09'19"W	1.87
L30	N66°09'19"W	1.66
L31	N66°09'19"W	45.46
L32	N52°45'21"W	3.54
L33	N52°45'21"W	45.46
L34	N39°21'23"W	3.54
L35	N39°21'23"W	31.45
L36	N39°21'23"W	14.01
L37	N25°57'24"W	3.54
L38	N25°57'24"W	45.46
L39	N12°45'10"W	3.54
L40	N09°46'00"W	10.00
L41	N08°52'40"W	57.76
L42	N02°23'39"E	3.49
L43	N02°23'39"E	42.09
L44	N02°23'39"E	3.41
L45	N15°47'37"E	3.49
L46	N15°47'37"E	45.51
L47	N29°11'35"E	3.49
L48	N29°11'35"E	45.51
L49	N42°35'34"E	3.49
L50	N42°35'34"E	27.13
L51	N42°35'34"E	18.37
L52	N55°59'33"E	3.49
L53	N55°59'33"E	45.51
L54	N68°50'58"E	3.49
L55	N68°50'58"E	43.09
L56	N77°43'29"E	5.93
L57	N77°43'29"E	11.72
L58	S07°46'10"E	20.00
L59	S37°05'45"E	20.00
L60	N88°00'00"E	46.71
L61	S02°00'00"E	19.00
L62	N04°10'00"W	25.88
L63	N49°10'00"W	49.92
L64	N60°12'36"W	35.68
L65	N02°01'44"W	18.89

CURVE	RADIUS	LENGTH	BEARING	CHRD
C1	217.00	94.11	N22°01'00"W	93.37
C2	217.00	68.97	N43°32'43"W	68.68
C3	133.00	6.38	S51°16'35"E	6.38
C4	133.00	55.02	S38°03'07"E	54.63
C5	500.00	17.71	S25°11'11"E	17.71
C6	500.00	72.06	S20°02'34"E	72.00
C7	500.00	80.14	S11°19'21"E	80.05
C8	280.00	55.56	N12°24'54"W	55.46
C9	280.00	61.30	N24°22'15"W	61.18
C10	220.00	7.26	S29°41'50"E	7.26
C11	220.00	63.27	S20°30'49"E	63.05
C12	180.37	71.71	N22°57'58"W	71.24
C13	180.00	49.94	N42°18'53"W	49.78
C14	18.00	22.64	S14°14'03"E	21.17
C15	168.00	35.27	N15°46'48"E	35.20
C16	23.00	24.67	S40°29'54"W	23.51
C17	60.00	87.45	N29°28'39"E	79.91
C18	60.00	89.53	N55°01'20"W	81.45
C19	60.00	81.35	S43°23'23"W	75.26
C20	60.00	21.47	S05°42'16"E	21.36
C21	108.00	71.16	N02°55'05"E	69.88
C22	18.00	25.08	N61°42'12"E	23.10
C23	180.00	42.76	N85°11'37"W	42.66
C24	130.00	16.28	S84°24'41"W	16.27
C25	130.00	63.35	S66°51'48"W	62.72
C26	130.00	60.97	S39°28'07"W	60.41
C27	130.00	61.09	S12°34'13"W	60.53
C28	130.00	60.83	S14°17'48"E	60.28
C29	130.00	27.15	S33°41'11"E	27.10
C30	60.00	48.00	S62°35'17"E	46.73
C31	60.00	54.34	N68°32'57"E	52.50
C32	60.00	54.34	N16°39'37"E	52.50
C33	60.00	54.34	N35°13'43"W	52.50
C34	60.00	54.88	N87°22'40"W	52.99
C35	23.00	29.67	S76°37'34"E	27.66
C36	120.00	23.43	S34°04'36"E	23.39
C37	120.00	191.68	S17°16'40"W	171.94
C38	120.00	52.28	S75°31'10"W	51.87
C39	120.00	168.79	N51°42'17"W	155.21
C40	18.00	28.98	N31°36'25"E	25.95
C41	380.00	10.01	S76°58'13"W	10.01
C42	380.00	90.14	S69°25'13"W	89.93
C43	380.00	62.02	S57°56'55"W	61.96
C44	380.00	66.59	S48°15'10"W	66.50
C45	380.00	66.59	S38°12'47"W	66.50
C46	380.00	66.59	S28°10'25"W	66.50
C47	380.00	66.59	S18°08'02"W	66.50
C48	380.00	63.79	S08°18'19"W	63.71
C49	33.00	46.78	N44°06'34"E	42.96
C50	130.00	29.07	S78°18'58"W	29.01
C51	89.00	34.99	N79°59'12"E	34.77
C52	33.00	46.78	N70°39'52"W	42.96
C53	380.00	56.95	S34°20'41"E	56.89
C54	380.00	66.58	S43°39'27"E	66.50
C55	380.00	66.59	S53°41'49"E	66.50
C56	380.00	66.59	S63°44'12"E	66.50
C57	380.00	66.59	S73°46'34"E	66.50
C58	380.00	66.59	S83°48'57"E	66.50
C59	380.00	52.36	N87°13'00"E	52.32
C60	18.00	28.27	N51°43'51"W	25.46
C61	560.00	71.43	S10°23'06"E	71.38

CURVE	RADIUS	LENGTH	BEARING	CHRD
C62	320.00	63.29	N88°56'08"E	63.19
C63	320.00	75.42	S78°38'48"E	75.24
C64	320.00	74.84	S65°11'42"E	74.67
C65	320.00	74.84	S51°47'44"E	74.67
C66	320.00	74.84	S38°23'45"E	74.67
C67	320.00	74.84	S24°59'47"E	74.67
C68	320.00	47.64	S14°01'54"E	47.60
C69	320.00	35.80	S06°33'43"E	35.78
C70	320.00	74.84	S03°20'33"W	74.67
C71	320.00	74.84	S16°44'31"W	74.67
C72	320.00	74.84	S30°08'30"W	74.67
C73	320.00	74.84	S43°32'28"W	74.67
C74	320.00	74.84	S56°56'26"W	74.67
C75	318.59	70.22	S69°55'35"W	70.07
C76	320.00	4.62	S76°37'33"W	4.62
C77	18.00	28.27	N57°16'31"W	25.46
C78	33.00	51.84	N32°43'29"E	46.67
C79	88.82	6.17	S75°57'25"W	6.17
C80	100.00	53.32	S58°54'47"W	52.69
C81	100.00	7.07	S41°36'42"W	7.07
C82	100.00	52.12	S24°39'15"W	51.54
C83	100.00	8.07	S07°24'35"W	8.07
C84	100.00	25.94	S02°20'04"E	25.87
C85	101.68	50.38	S23°33'52"E	49.87
C86	101.68	9.99	S40°34'20"E	9.98
C87	101.68	49.31	S57°16'45"E	48.83
C88	101.68	11.06	S74°17'13"E	11.05
C89	101.68	35.17	S87°18'41"E	35.00
C90	33.00	51.84	N51°43'51"W	46.67
C91	18.00	28.27	N38°16'09"E	25.46
C92	233.00	88.33	N12°53'21"W	87.80

LOT #	ACRE	SQ.FT.
LOT 1	0.46 AC	20,086 SQ.FT.
LOT 2	0.28 AC	12,568 SQ.FT.
LOT 3	0.30 AC	13,121 SQ.FT.
LOT 4	0.28 AC	12,352 SQ.FT.
LOT 5	0.23 AC	10,196 SQ.FT.
LOT 6	0.25 AC	11,200 SQ.FT.
LOT 7	0.25 AC	11,200 SQ.FT.
LOT 8	0.23 AC	10,067 SQ.FT.
LOT 9	0.40 AC	17,739 SQ.FT.
LOT 10	0.37 AC	16,477 SQ.FT.
LOT 11	0.25 AC	11,316 SQ.FT.
LOT 12	0.25 AC	11,173 SQ.FT.
LOT 13	0.25 AC	11,155 SQ.FT.
LOT 14	0.20 AC	8,912 SQ.FT.
LOT 15	0.25 AC	11,200 SQ.FT.
LOT 16	0.25 AC	11,200 SQ.FT.
LOT 17	0.25 AC	11,200 SQ.FT.
LOT 18	0.25 AC	11,200 SQ.FT.
LOT 19	0.26 AC	11,493 SQ.FT.
LOT 20	0.30 AC	13,326 SQ.FT.
LOT 21	0.41 AC	18,092 SQ.FT.
LOT 22	0.68 AC	29,963 SQ.FT.
LOT 23	0.67 AC	29,402 SQ.FT.
LOT 24	0.30 AC	13,106 SQ.FT.
LOT 25	0.20 AC	9,100 SQ.FT.
LOT 26	0.20 AC	9,100 SQ.FT.
LOT 27	0.20 AC	9,100 SQ.FT.
LOT 28	0.20 AC	9,100 SQ.FT.
LOT 29	0.20 AC	9,100 SQ.FT.
LOT 30	0.20 AC	9,100 SQ.FT.
LOT 31	0.20 AC	9,100 SQ.FT.
LOT 32	0.20 AC	9,100 SQ.FT.
LOT 33	0.20 AC	9,100 SQ.FT.
LOT 34	0.20 AC	9,100 SQ.FT.
LOT 35	0.20 AC	9,106 SQ.FT.
LOT 36	0.22 AC	9,838 SQ.FT.
LOT 37	0.89 AC	39,095 SQ.FT.
LOT 38	0.49 AC	21,744 SQ.FT.
LOT 39	0.25 AC	11,075 SQ.FT.
LOT 40	0.20 AC	9,114 SQ.FT.
LOT 41	0.20 AC	8,888 SQ.FT.
LOT 42	0.21 AC	9,463 SQ.FT.
LOT 43	0.22 AC	9,928 SQ.FT.
LOT 44	0.23 AC	10,208 SQ.FT.
LOT 45	0.27 AC	12,131 SQ.FT.
LOT 46	0.25 AC	11,116 SQ.FT.
LOT 47	0.25 AC	11,116 SQ.FT.
LOT 48	0.25 AC	11,116 SQ.FT.
LOT 49	0.22 AC	9,931 SQ.FT.
LOT 50	0.19 AC	8,672 SQ.FT.
LOT 51	0.19 AC	8,674 SQ.FT.
LOT 52	0.21 AC	9,180 SQ.FT.
LOT 53	0.14 AC	6,499 SQ.FT.
LOT 54	0.17 AC	7,697 SQ.FT.
LOT 55	0.17 AC	7,697 SQ.FT.

LOT #	ACRE	SQ.FT.
LOT 56	0.17 AC	7,697 SQ.FT.
LOT 57	0.17 AC	7,697 SQ.FT.
LOT 58	0.17 AC	7,697 SQ.FT.
LOT 59	0.17 AC	7,697 SQ.FT.
LOT 60	0.17 AC	7,697 SQ.FT.
LOT 61	0.33 AC	14,430 SQ.FT.
LOT 62	0.30 AC	13,425 SQ.FT.
LOT 63	0.21 AC	9,423 SQ.FT.
LOT 64	0.25 AC	11,264 SQ.FT.
LOT 65	0.19 AC	8,277 SQ.FT.
LOT 66	0.19 AC	8,277 SQ.FT.
LOT 67	0.19 AC	8,277 SQ.FT.
LOT 68	0.26 AC	11,549 SQ.FT.
LOT 69	0.27 AC	12,145 SQ.FT.
LOT 70	0.20 AC	9,140 SQ.FT.
LOT 71	0.20 AC	9,140 SQ.FT.
LOT 72	0.21 AC	9,205 SQ.FT.
LOT 73	0.20 AC	9,140 SQ.FT.
LOT 74	0.20 AC	9,140 SQ.FT.
LOT 75	0.20 AC	9,015 SQ.FT.
LOT 76	0.19 AC	8,400 SQ.FT.
LOT 77	0.25 AC	11,058 SQ.FT.
LOT 78	0.23 AC	10,336 SQ.FT.
LOT 79	0.21 AC	9,366 SQ.FT.
LOT 80	0.19 AC	8,400 SQ.FT.
LOT 81	0.24 AC	10,733 SQ.FT.
LOT 82	0.26 AC	11,663 SQ.FT.
LOT 83	0.25 AC	10,977 SQ.FT.
LOT 84	0.23 AC	10,037 SQ.FT.
LOT 85	0.26 AC	11,698 SQ.FT.
LOT 86	0.26 AC	11,577 SQ.FT.
LOT 87	0.22 AC	9,626 SQ.FT.
LOT 88	0.23 AC	10,348 SQ.FT.
LOT 89	0.15 AC	6,852 SQ.FT.
LOT 90	0.15 AC	6,864 SQ.FT.
LOT 91	0.15 AC	6,863 SQ.FT.
LOT 92	0.15 AC	6,865 SQ.FT.
LOT 93	0.15 AC	6,864 SQ.FT.
LOT 94	0.15 AC	6,756 SQ.FT.
LOT 95	0.16 AC	7,340 SQ.FT.
LOT 96	0.16 AC	7,127 SQ.FT.
LOT 97	0.15 AC	6,864 SQ.FT.
LOT 98	0.15 AC	6,864 SQ.FT.
LOT 99	0.15 AC	6,864 SQ.FT.
LOT 100	0.15 AC	6,864 SQ.FT.
LOT 101	0.15 AC	6,908 SQ.FT.
LOT 102	0.15 AC	6,943 SQ.FT.
LOT 103	0.18 AC	7,893 SQ.FT.

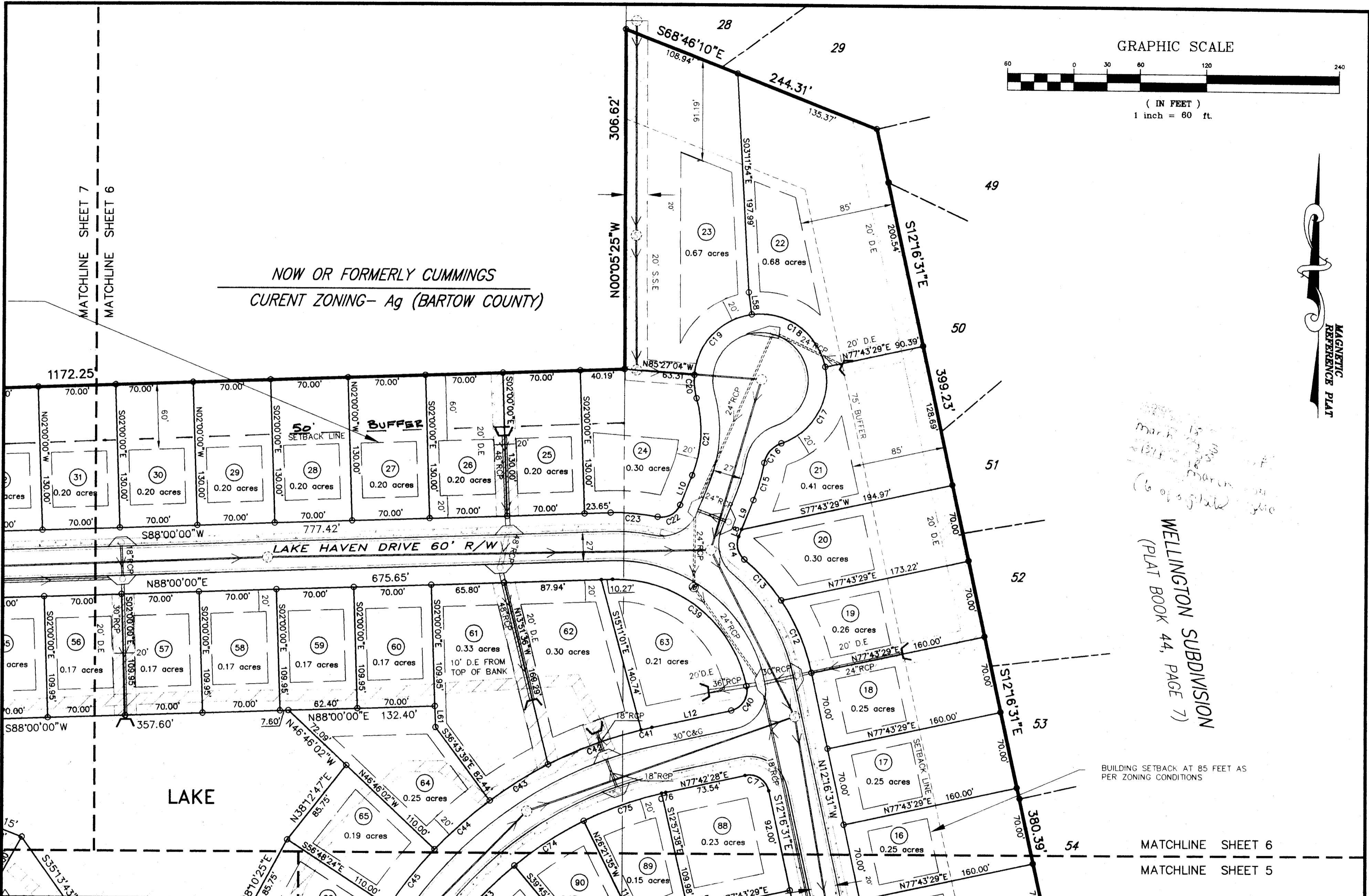
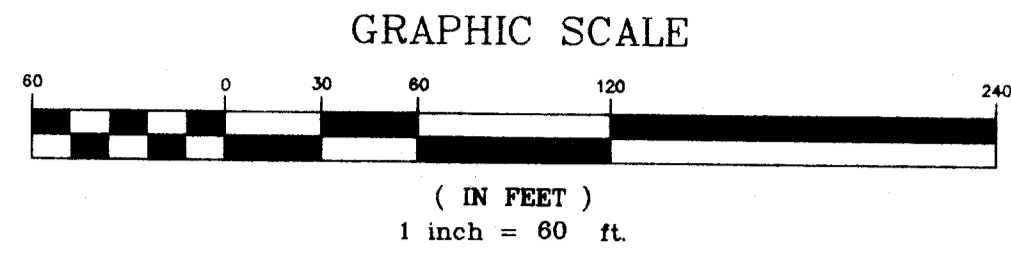
LEGEND

LINE TYPES

- RIGHT OF WAY LINE
- SUBJECT PROPERTY LINE
- ADJACENT PROPERTY LINE
- CREEK LINE
- BUILDING SETBACK LINE
- SANITARY SEWER
- SANITARY SEWER SERVICE
- WATER LINE
- GAS LINE
- FENCE LINE
- TELEPHONE LINE
- FIBER OPTIC
- CABLE TELEVISION
- U/G POWER LINE
- TOPOGRAPHIC CONTOUR
- STORM SEWER
- OVERHEAD POWER LINE

SYMBOLS

- DOUBLE WING CATCH BASIN
- SINGLE WING CATCH BASIN
- HEAD WALL
- DROP INLET
-



F.B.03-02C-P.C.11-30
SHEET 6-OF-8
534-FP.dwg

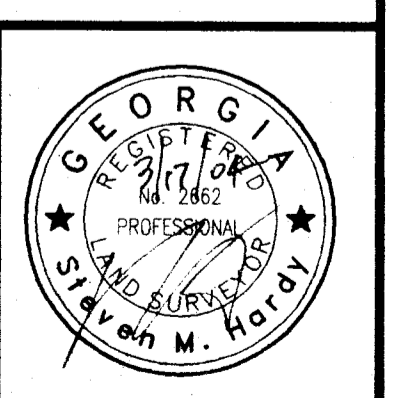
FINAL PLAT FOR:
GROVE PARK
Land Lot 703,704,737,738,775 & 776,
4th DISTRICT - 3rd SECT - BARTOW COUNTY, GEORGIA
CITY OF CARTERSVILLE

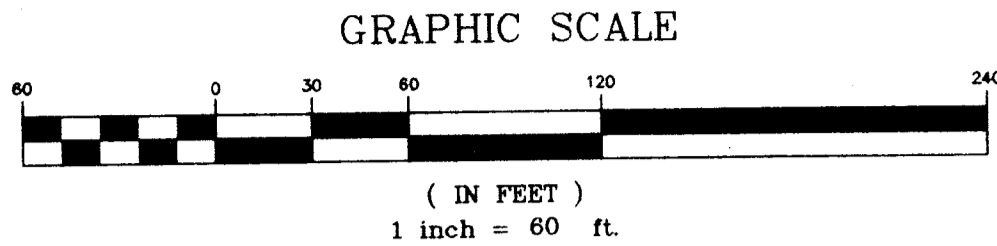
Project No.	No	Revision	Date
00-534	1		
Surveyed By: W.J.B.	2		
Drawn By: M.O.F.	3		
Checked By: S.M.H.	4		
Date: 2/17/04	5		
	6		
	7		
	8		

Scale: 1" = 60'

PINE GROVE LLC
P.O. BOX 1733
CARTERSVILLE, GEORGIA
30120
Office: 770-382-7265

HIGHLAND ENGINEERING, INC.
ONE DUNWOODY PARK, SUITE 205
ATLANTA, GEORGIA 30338
PH: 770-225-2121 FAX: 770-225-2222
5 PUBLIC SQUARE, SUITE 302
CARTERSVILLE, GEORGIA 30120
PH: 770-607-1300 FAX: 770-607-1333



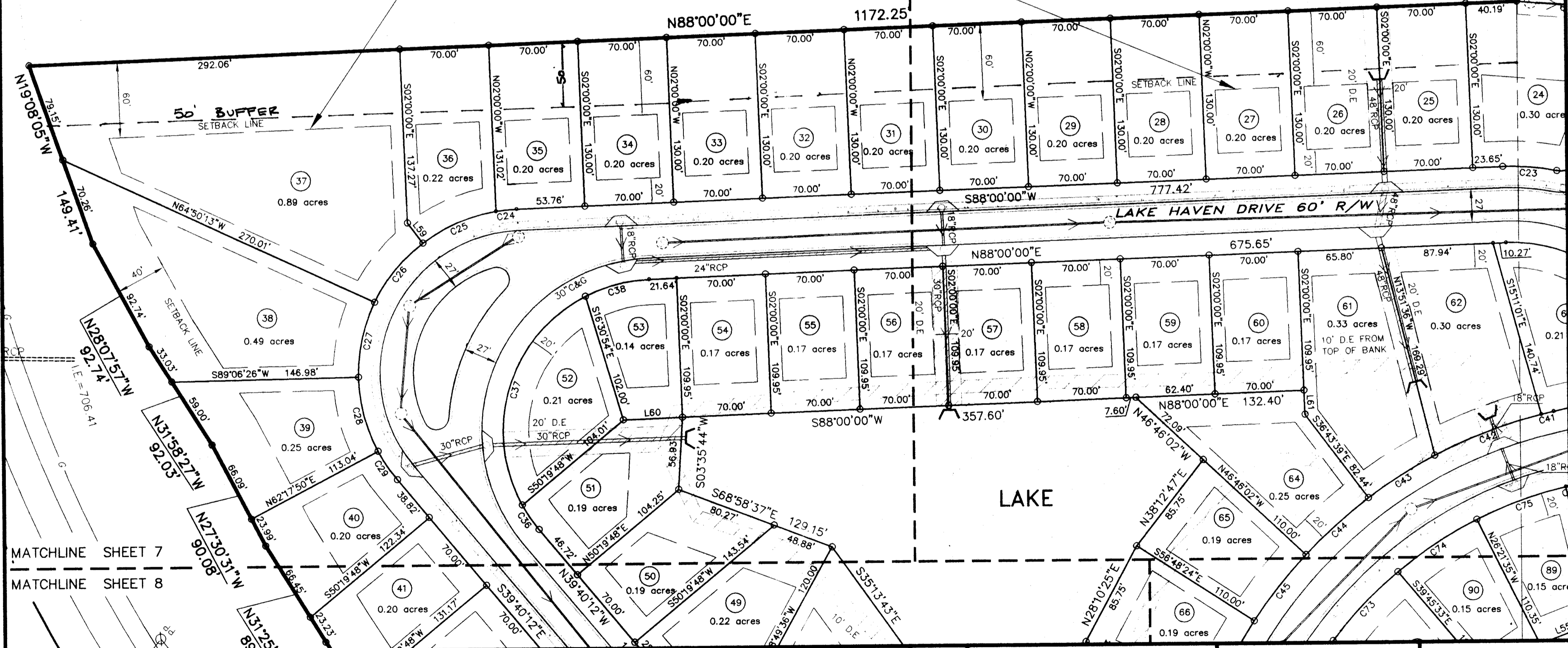


MAGNETIC
REFERENCE PLAT

NOW OR FORMERLY CUMMINGS
CURENT ZONING- Ag (BARTOW COUNTY)

NOW OR FORMERLY CUMMINGS
CURENT ZONING- Ag (BARTOW COUNTY)

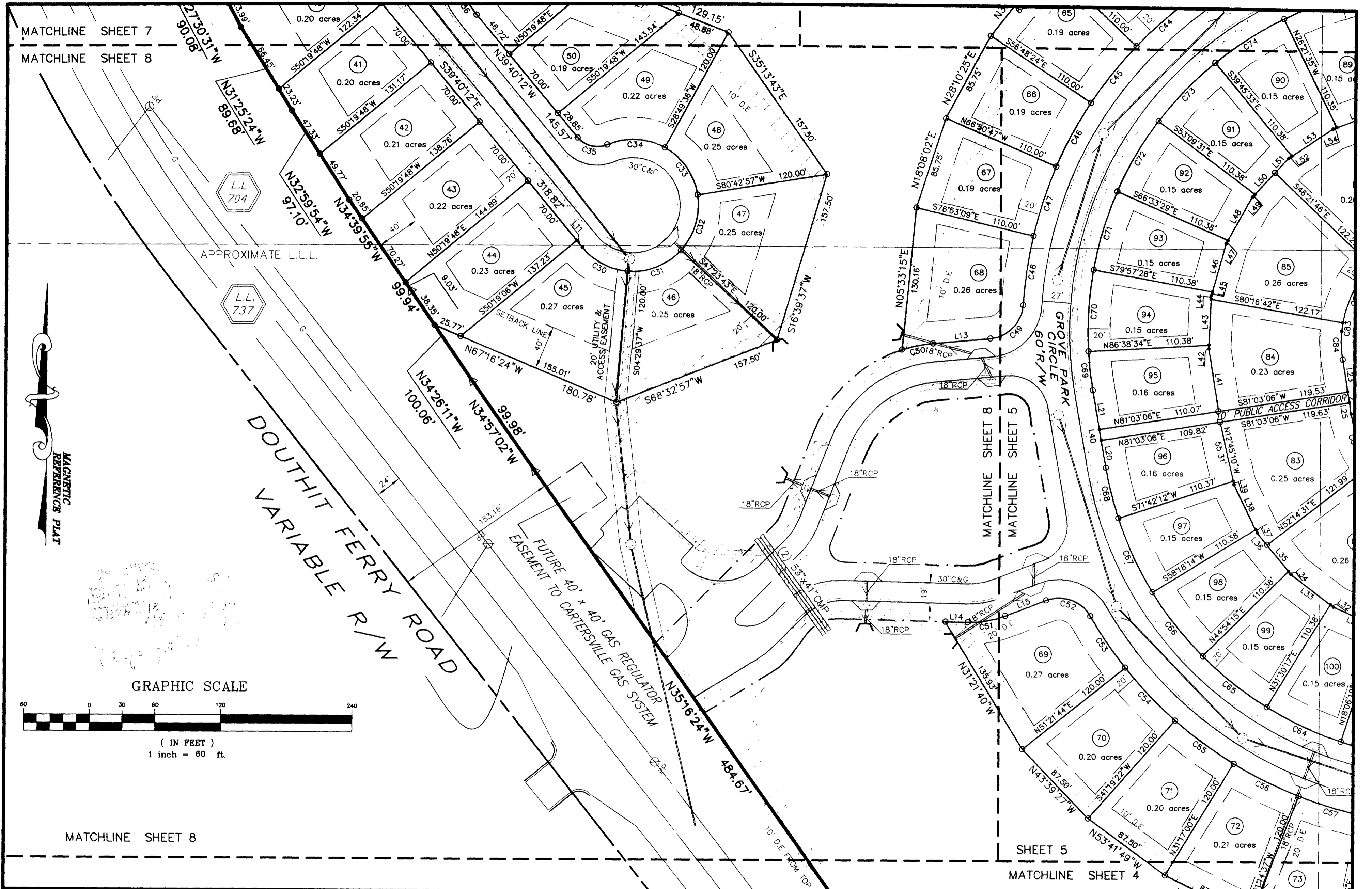
BUILDING SETBACK AT 60 FEET AS
PER ZONING CONDITIONS



MATCHLINE SHEET 7
MATCHLINE SHEET 8

MATCHLINE SHEET 7
MATCHLINE SHEET 6

F.B.03-02C-P.G.11-30 SHEET 7-OF-8 534-FP.awg	FINAL PLAT FOR: <h2 style="margin: 0;">GROVE PARK</h2> <p style="margin: 0;">Land Lot 703,704,737,738,775 & 776, 4th DISTRICT - 3rd SECT - BARTOW COUNTY, GEORGIA CITY OF CARTERSVILLE</p>		Project No. 00-534 Surveyed By: W.J.B. Drawn By: M.O.F. Checked By: S.M.H. Date: 2/17/04 Scale: 1" = 60'	<table border="1"> <thead> <tr> <th>No</th> <th>Revision</th> <th>Date</th> </tr> </thead> <tbody> <tr><td>1</td><td></td><td></td></tr> <tr><td>2</td><td></td><td></td></tr> <tr><td>3</td><td></td><td></td></tr> <tr><td>4</td><td></td><td></td></tr> <tr><td>5</td><td></td><td></td></tr> <tr><td>6</td><td></td><td></td></tr> <tr><td>7</td><td></td><td></td></tr> <tr><td>8</td><td></td><td></td></tr> </tbody> </table>	No	Revision	Date	1			2			3			4			5			6			7			8			PINE GROVE LLC P.O. BOX 1733 CARTERSVILLE, GEORGIA 30120 Office: 770-382-7265	<p>HIGHLAND ENGINEERING, INC. ONE DUNWOODY PARK, SUITE 205 ATLANTA, GEORGIA 30338 PH: 770-225-2121 FAX: 770-225-2222 5 PUBLIC SQUARE, SUITE 302 CARTERSVILLE, GEORGIA 30120 PH: 770-607-1300 FAX: 770-607-1333</p>	
	No	Revision	Date																															
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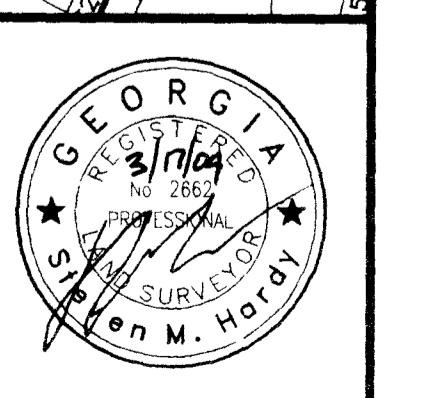
F.B.03-02C-P.G.11-30
SHEET 8-OF-8
534-FP.dwg

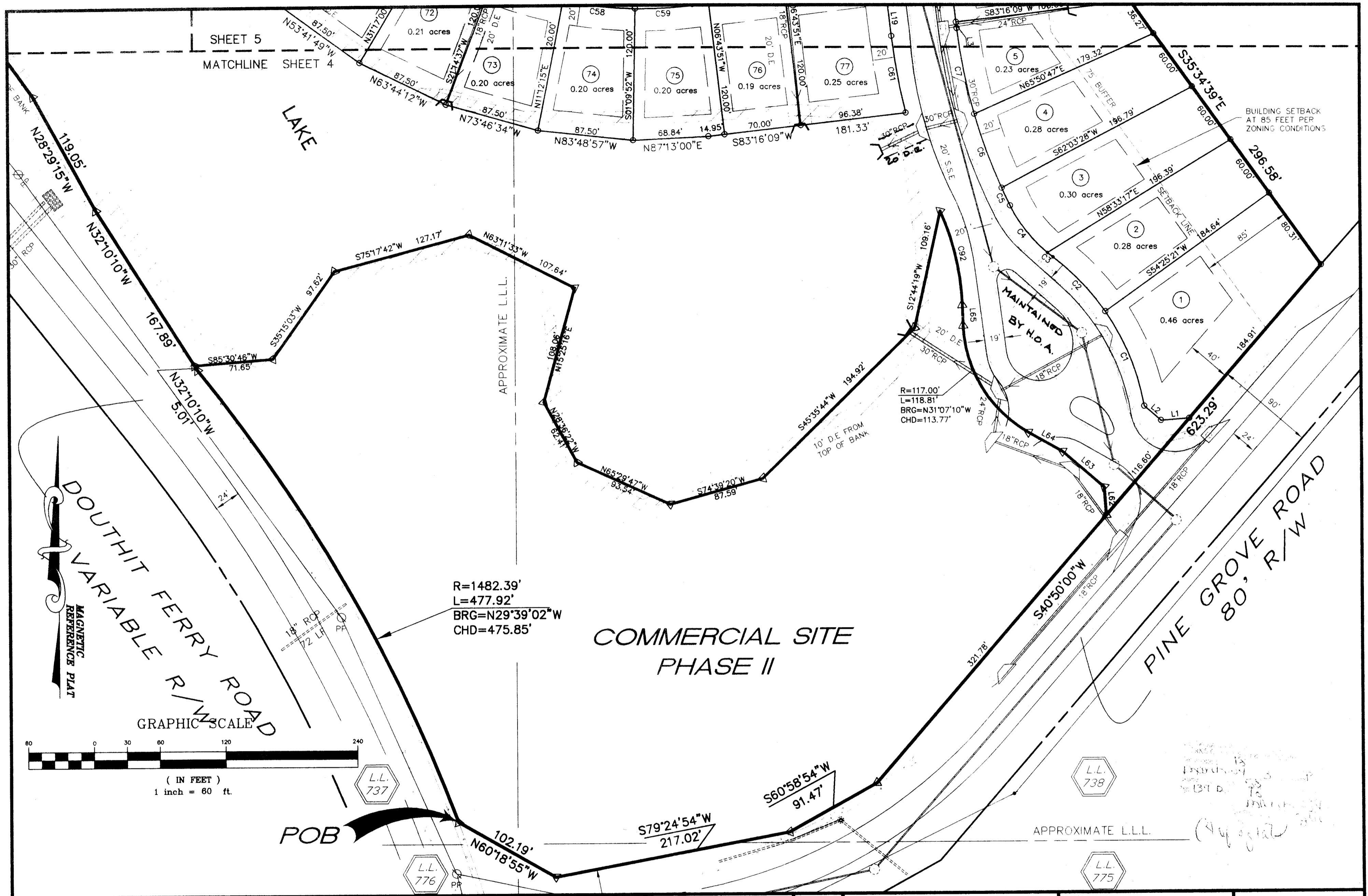
FINAL PLAT FOR:
GROVE PARK
Land Lot 703, 704, 737, 738, 775 & 776,
4th DISTRICT, 3rd SECT - BARTOW COUNTY, GEORGIA
CARTERSVILLE

Project No.	No	Revision	Date
00-534	1		
Surveyed By: W.J.B.	2		
Drawn By: M.O.F.	3		
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Date: 2/17/04	5		
Scale: 1" = 60'	6		
	7		
	8		

PINE GROVE LLC
P.O. BOX 733
CARTERSVILLE, GEORGIA
30120
Office: 770-382-7065

HIGHLAND ENGINEERING, INC.
ONE DUNWOODY PARK, SUITE 205
ATLANTA, GEORGIA 30338
PH: 770-225-2121 FAX: 770-225-2222
5 PUBLIC SQUARE, SUITE 302
CARTERSVILLE, GEORGIA 30120
PH: 770-607-1300 FAX: 770-607-1333





F.B.03-02C-P.G.11-30

SHEET 4-OF-8

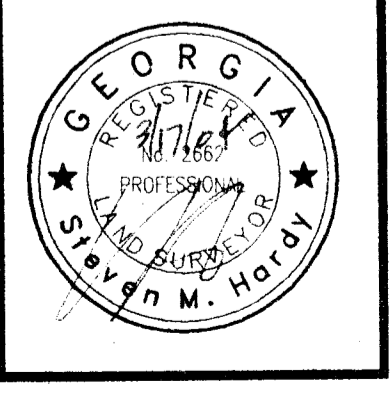
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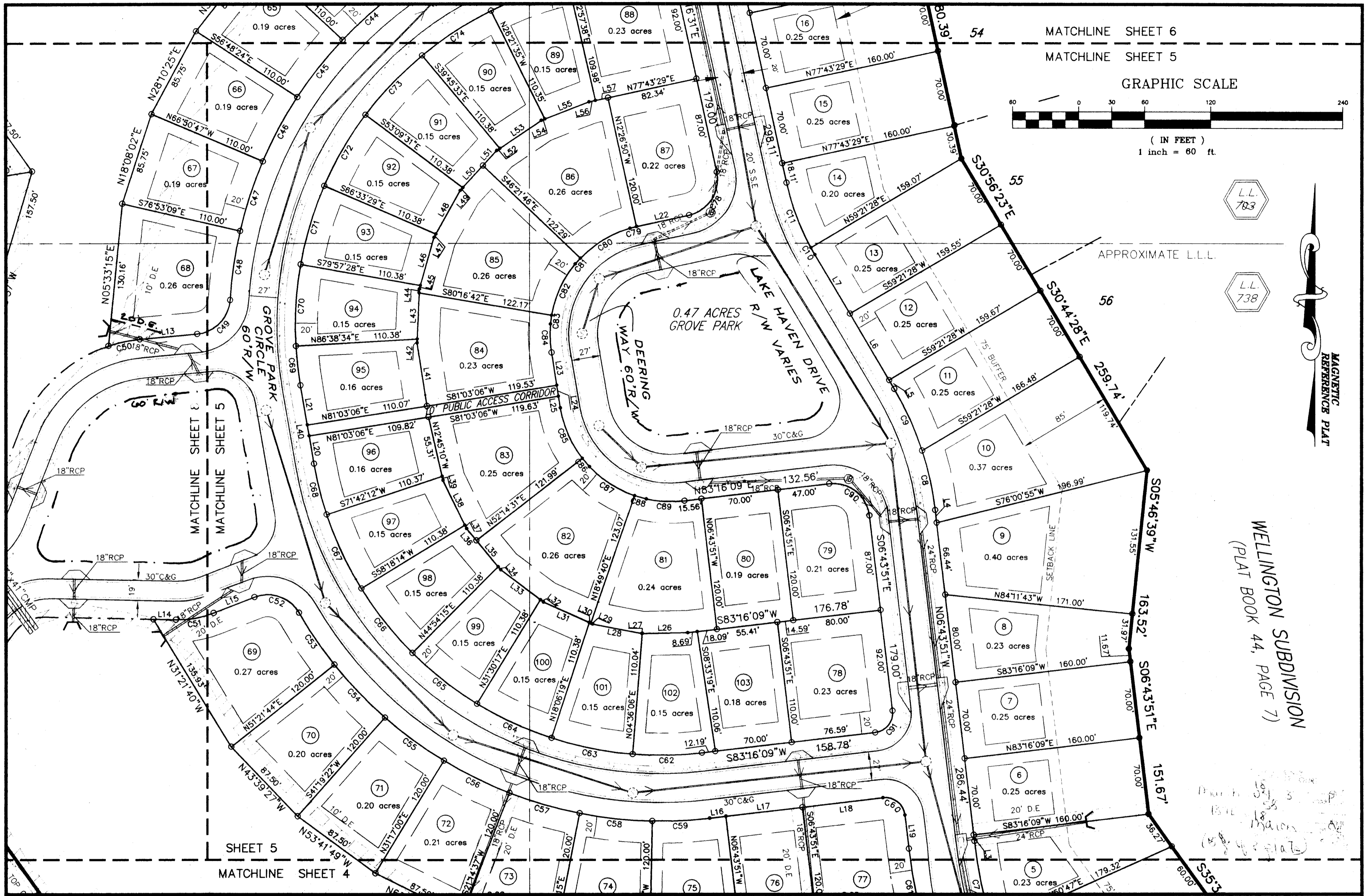
FINAL PLAT FOR:
GROVE PARK
 Land Lot 703, 704, 737, 738, 775 & 776,
 4th DISTRICT - 3rd SECT - BARTOW COUNTY, GEORGIA
 CITY OF CARTERSVILLE

Project No.	No	Revision	Date
00-534	1		
Surveyed By: W.J.B.	2		
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Scale: 1" = 60'	6		
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PINE GROVE LLC
 P.O. BOX 1733
 CARTERSVILLE, GEORGIA
 30120
 Office: 770-382-1265

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 ONE DUNWOODY PARK, SUITE 205
 ATLANTA, GEORGIA 30338
 PH: 770-225-2121 FAX: 770-225-2222
 5 PUBLIC SQUARE, SUITE 302
 CARTERSVILLE, GEORGIA 30120
 PH: 770-607-1300 FAX: 770-607-1333





MATCHLINE SHEET 6
 MATCHLINE SHEET 5
 GRAPHIC SCALE
 (IN FEET)
 1 inch = 60 ft.

L.L.
783

L.L.
738



WELLINGTON SUBDIVISION
 (PLAT BOOK 44, PAGE 7)

Part of the Wellington Subdivision
 Plat Book 44, Page 7
 (See separate plat)

F.B.03-020-P.G.11-30
 SHEET 5-OF-8
 534-FP.dwg

FINAL PLAT FOR:
GROVE PARK
 Land Lot 703,704,737,738,775 & 776,
 4th DISTRICT - 3rd SECT - BARTOW COUNTY, GEORGIA
 CITY OF CARTERSVILLE

Project No.	No	Revision	Date
00-534	1		
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PINE GROVE LLC
 P.O. BOX 1733
 CARTERSVILLE, GEORGIA
 30120
 Office: 770-382-7265

HIGHLAND ENGINEERING, INC.
 ONE DUNWOODY PARK, SUITE 205
 ATLANTA, GEORGIA 30338
 PH: 770-225-2121 FAX: 770-225-2222
 5 PUBLIC SQUARE, SUITE 302
 CARTERSVILLE, GEORGIA 30120
 PH: 770-607-1300 FAX: 770-607-1333



FINAL PLAT FOR: GROVE PARK COMMERCIAL SITE

OWNER'S CERTIFICATE

THE OWNER OF THE LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED HERETO, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, CERTIFIES THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY, THAT ALL STATE, CITY AND COUNTY TAXES OR OTHER ASSESSMENTS NOW DUE ON THIS LAND HAVE BEEN PAID, THAT ALL STREETS, WATER SYSTEMS, DRAINS AND DRAINAGE EASEMENTS, AND PUBLIC PLACES SHOWN ARE DEDICATED TO THE USE OF THE PUBLIC FOREVER.

[Signature]
OWNER _____ DATE 5/25/05

COVENANTS

THIS PLAT IS SUBJECT TO THE COVENANTS SET FORTH IN THE SEPARATE DOCUMENT(S) ATTACHED HERETO DATED _____, WHICH HEREBY BECOME A PART OF THIS PLAT, AND WHICH WERE RECORDED IN PLAT BOOK _____ PAGE _____.

TECHNICAL DATA

DATE OF SURVEY: 01/7/2004 THROUGH 02/17/2004
EQUIPMENT USED: TOPCON GTS3B ELECTRONIC TOTAL STATION
ANGULAR ERROR: 03 SECONDS/SETUP
PRECISION: ONE FOOT IN 15,000±
TYPE OF ADJUSTMENT: LEAST SQUARES
PLAT CLOSURE: 1 FOOT IN 100,000±

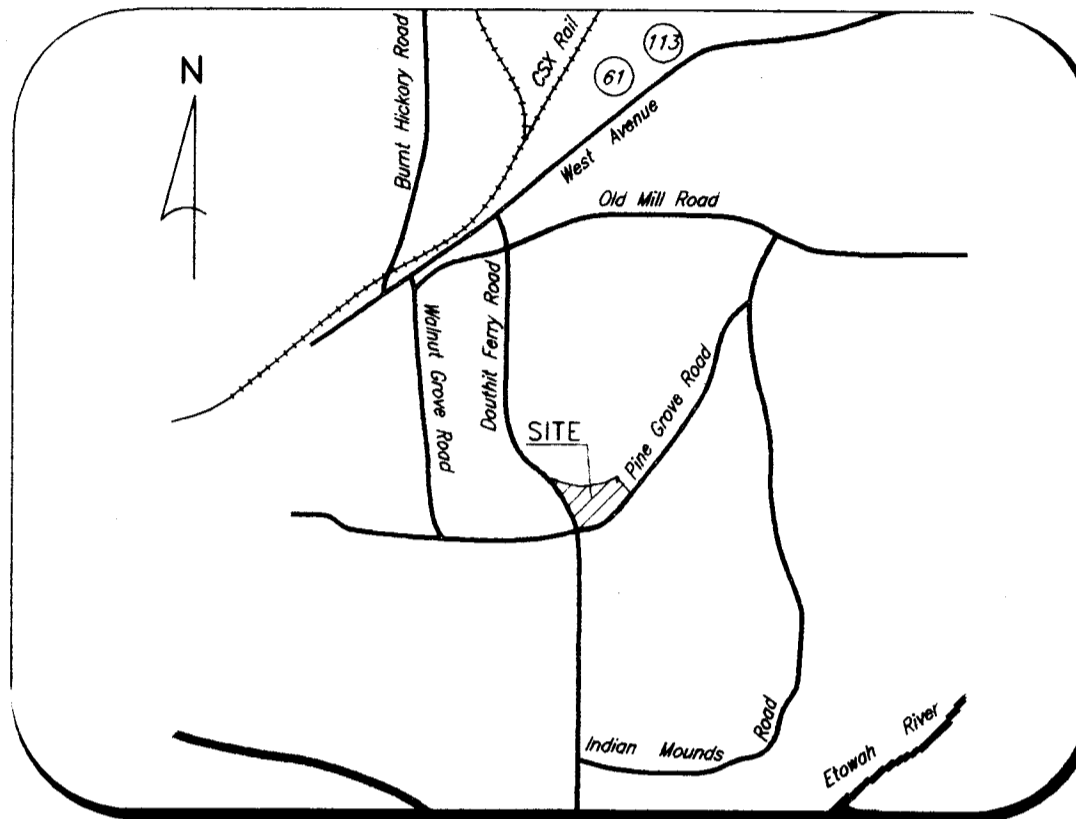
SITE DATA

DEVELOPER: PINE GROVE LLC
P.O. BOX 1733
CARTERSVILLE, GA 30120
770-382-7265

OWNER: SAME AS ABOVE

ENGINEER/SURVEYOR: HIGHLAND ENGINEERING, INCORPORATED
ONE DUNWOODY PARK, SUITE 205
ATLANTA, GA. 30338
770-225-2121

SITE AREA: 6.12 ACRES 266,607 SQ.FT.
ZONING: COMMERCIAL



LOCATION MAP

NOT TO SCALE

CITY OF CARTERSVILLE CERTIFICATE

IN ACCORDANCE TO THE CITY OF CARTERSVILLE DEVELOPMENT REGULATIONS AND THE CITY'S ZONING ORDINANCE, ALL REQUIREMENTS OF APPROVAL HAVING BEEN FULFILLED, THIS PLAT WAS GIVEN FINAL APPROVAL BY THE FOLLOWING CITY PERSONNEL ON BEHALF OF THE CITY OF CARTERSVILLE:

[Signature]
ZONING ADMINISTRATOR _____ DATE 5/16/04

[Signature]
WATER SUPERINTENDENT _____ DATE 7/26/04

[Signature]
CITY ENGINEER _____ DATE 5/25/05

PROPERTY CORNER LEGEND

#4 R.S. —●— #4 REBAR SET
#4 R.F. —○— #4 REBAR FOUND
O.T.F. —○— OPEN TOP FOUND
C.T.F. —○— CRIMPED TOP FOUND
C.M.S. —△— CORNER NOT SET
C.M.F. —□— CONC. MONUMENT FOUND

SURVEYOR'S CERTIFICATE

IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY BY ME OR UNDER MY SUPERVISION, THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST OR ARE MARKED "FUTURE AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN, AND THAT ALL REQUIREMENTS OF THE DEVELOPMENT AND ZONING REGULATIONS HAVE BEEN FULLY COMPLIED WITH.

[Signature]
SURVEYOR _____ DATE 5/25/05

NOTES

INFORMATION REGARDING THE PRESENCE, SIZE AND LOCATION OF UNDERGROUND UTILITIES IS SHOWN HEREON. THIS INFORMATION HAS BEEN SHOWN BASED ON THE LOCATION OF THE ABOVE GROUND APPURTENANCES, AVAILABLE DESIGN PLANS, AND FLAGS AND PAINT PLACED BY THE UTILITY PROTECTION SERVICE. NO CERTIFICATION IS MADE AS TO THE ACCURACY OR THOROUGHNESS OF THE INFORMATION CONCERNING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON. PER GEORGIA LAW, THE UNDERGROUND UTILITIES PROTECTION SERVICE MUST BE CALLED PRIOR TO THE COMMENCEMENT OF ANY AND ALL EARTH DISTURBING ACTIVITIES.

EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT PARCEL(S): EASEMENTS, BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND-USE REGULATIONS; AND ANY OTHER FACT(S) THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

THIS PROPERTY IS NOT SHOWN TO BE LOCATED WITHIN THE LIMITS OF A DESIGNATED 100 YEAR FLOOD HAZARD AREA ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NO. 130209 0005 E, DATED JUNE 1, 1984. THIS STATEMENT IS BASED ON GRAPHICALLY LOCATING THIS PROPERTY ON SAID MAP.

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

BOUNDARY INFORMATION TAKEN FROM A BOUNDARY SURVEY FOR PROVIDENCE CONSTRUCTION COMPANY BY HIGHLAND ENGINEERING DATED JANUARY 03, 2002

ALL PROPERTY CORNERS SET ARE #4 REBARS

ALL DRAINAGE INSIDE RIGHT-OF-WAY WILL BE MAINTAINED BY PROPERTY OWNER

ALL DRAINAGE EASEMENTS ARE CENTERED ON STORM STRUCTURE AND PIPE

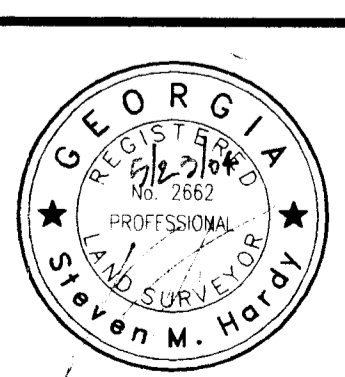
F.B.03-02C-P.G.11-50
SHEET 1-OF-3
534-FPCOMM.dwg

FINAL PLAT FOR:
**GROVE PARK
COMMERCIAL SITE**
Land Lot 737,738,775 & 776
4th DISTRICT - 3rd SECT - BARTOW COUNTY, GEORGIA
CITY OF CARTERSVILLE

Project No.	No	Revision	Date
00-534	1		
Surveyed By: W.J.B.	2		
Drawn By: M.O.F.	3		
Checked By: S.M.H.	4		
	5		
Date: 04/22/04	6		
	7		
Scale: 1" = 50'	8		

PINE GROVE LLC
P.O. BOX 1733
CARTERSVILLE, GEORGIA
30120
Office: 770-382-7265

**HIGHLAND
ENGINEERING, INC.**
ONE DUNWOODY PARK, SUITE 205
ATLANTA, GEORGIA 30338
PH: 770-225-2121 FAX: 770-225-2222
5 PUBLIC SQUARE, SUITE 302
CARTERSVILLE, GEORGIA 30120
PH: 770-607-1300 FAX: 770-607-1333



Ordinance
of the
City of Cartersville, Georgia
Ordinance No. 31-02

NOW BE IT AND IT IS HEREBY ORDAINED by the Mayor and City Council of the City of Cartersville, Georgia, that all that certain tract of land owned by DTG/Highland Pointe, L.L.C. Property is located the Northeast corner of Pine Grove Road and Douthitt Ferry Roads. Said property contains 52.436 acres located in the 4th District, 3rd Section, Land Lot 666,703,704,737,738,775 and 776, as shown on the attached plat Exhibit "A". Property is hereby rezoned from R-20 (S/F Residential) to P-D (Planned Development) with the following conditions. Zoning will be duly noted on the official zoning map of the City of Cartersville, Georgia.

1. Development Standards:
 - a. Max. Lot Coverage: 40% Min. Lot Width: 70 ft. at Bldg. Line
 - b. Max. Density: 104 lots with 36,000 sq. ft. of commercial
 - c. Min. Lot Frontage: 35 ft. on cul-de-sac, 60 ft. normal
 - d. Min. Heated Floor Area: 1,500 sq. ft.
 - e. Min. Lot Size: 6,000 sq. ft.
 - f. Min. Interior Setback: Front - 20 ft.; Side - 10 ft.
 - g. Min. Buffer Requirements: 75 ft. adjacent to Wellington Subdivision; 50 ft. remainder
 - h. Min. Open Space: 9.5 acres minus add. 25 ft. adj. To Wellington (approx. 0.96 acs.)
2. Only the following proposed commercial uses will be allowed for the development.
 - a. Clinics and/or Medical Offices (excludes veterinary)
 - b. Clubs and Lodges (non-commercial)
 - c. Construction contractors, General Building Contractors and Special Trade Contractors (provided there is no exterior storage of equipment, materials, and construction vehicles)
 - d. Financial Institutions
 - e. Institutions of Higher Learning, Business Colleges, Music Conservatories, and similar institutions.
 - f. Offices - Professional and/or General
 - g. Assembly Halls
 - h. Barber Shops
 - i. Beauty Salons
 - j. Dancing Schools
 - k. Catering, Carry-out, Delivery

- l. Delicatessens and/or Restaurants (without drive-thru facilities)
- m. Gymsnasiums/Health Clubs
- n. Laboratories (medical and dental)
- o. Research Laboratories
- p. Laundry/Dry Cleaning Pick-up Stations
- q. Art Galleries; Libraries; Museums
- r. Neighborhood Recreational Centers
- s. Office Parks
- t. Religious Institutions
- u. Retail, General (excluding Retail Package Stores (Liquor), or other businesses having primary sales of package beer and/or wine; convenience stores, drug stores/pharmacy, and automobile part stores)
- v. Theaters
- w. Wholesale Sales Offices

3. Additional Conditions:

- a. A seventy-five (75) foot undisturbed buffer will be kept along the eastern edge of the Grove Park subdivision, where it adjoins the Wellington Subdivision. A fifty (50) foot undisturbed buffer will be kept along the northern edge of the subdivision, as shown on the plat. The covenants of the subdivision shall contain language requiring the buffers be maintained undisturbed, requiring the Grove Park Home Owners' Association and the Wellington Home Owners' Association to enforce the buffers. Each individual deed shall also be required to contain the restriction that the buffer shall remain undisturbed. The buffer zone shall be clearly marked during construction.
- b. No fences may be erected within the buffer zone. Any land disturbance or other destruction of the buffer, including clearing for drainage easements, and including blight, disease or other external causes, shall be restored. Maintenance and restoration of the buffer shall be the responsibility of the responsibility of the Grove Park Home Owners' Association and the lot owner.
- c. The rear building setback, including the buffer zone, shall be a minimum of 85 feet along the eastern boundary of the development, and shall be a minimum of 60 feet along the northern boundary of the development. No building may be erected closer than a minimum of 10 feet from the undisturbed buffer.
- d. The proposed ponds shall be engineered and designed to stay full, wet and un-obscured by vegetation and algae, and shall have a well if necessary for that purpose. It is not guaranteed

that they shall stay un-obscured. The Wellington Homeowners Association will agree to covenant language allowing its storm runoff to be handled by the Grove Park development, and in return shall be released from any claims including nuisance, trespass and damages from the water.

- e. Commercial space shall be limited to a total of 30,000 square feet, with a maximum of 20,000 on the first floor and a minimum of 10,000 on the second floor (restaurants may be placed on the first floor). No residential uses or living shall be allowed in the commercial building or area. There shall also be allowed up to an additional 6,000 square feet of stand-alone restaurants. No single restaurant can exceed 4,500 square feet. Parking areas shall be landscaped with landscape islands in accordance with the Landscape Ordinance of the City of Cartersville.
- f. Commercial users shall be restricted to those proposed by the Planning Commission, except no car washes shall be permitted. Architectural Covenants. Grove Park residential development will be governed by Covenants as submitted by the developer, which are modified Wellington provisions. The modified Wellington, Carrington and Dearfield III Design Standards shall also be adopted by the Grove Park Architectural Control Committee. The house plans submitted to the City are approved for construction. Other plans may be built provided they are approved by the Grove Park Architectural Control Committee for compliance with the Covenants and Design Standards.
- g. Architectural Control Committee. The initial Architectural Control Committee will consist of a landscape architect (initially Jay Scott), two developer representatives (initially Gary Temples and Don Temples), one representative chosen by the Wellington Homeowners Association board, and one representative chosen by the Carrington Homeowners Association board. After ten houses have been sold (meaning after final closing), one developer representative will be replaced by one Grove Park homeowner. After twenty houses have been sold, the Carrington representative will be replaced by a Grove Park homeowner. After thirty houses have been sold, the Wellington representative will be replaced by a Grove Park homeowner. After 52 houses have been sold, the other developer representative will be replaced by a Grove Park homeowner.
- h. A separate Commercial Architectural Control Committee will be formed consisting of the initial residential Architectural Control Committee. The Commercial Architectural Control Committee will have the authority to approve plans for the

erection of commercial structures. Commercial structures shall be designed to be similar to and in harmony with the residential portion of the Grove Park development, and shall use similar exterior building materials and architectural elements.

- j. The developer will add at least one shade tree of two-inch caliper to the front yard of every developed lot in the subdivision.
- k. The pool shall have a minimum surface area of 1200 square feet.
- l. No commercial building permit will be issued until July 2, 2003 although land disturbance permits and infrastructure development shall be allowed prior to July 2, 2003.
- m. All conditions will be noted on the plat/warranty deed/covenants and will run with the properties.
- n. The plat submitted is hereby made a part of the ordinance and is attached hereto as Exhibit "A".
- o. The house plans submitted to the Mayor and City Council are made a part of this Ordinance and are attached hereto as Exhibit "B".

BE IT AND IT IS HEREBY ORDAINED.

ADOPTED this the 20th day of June 2002. First Reading
ADOPTED this the 2nd day of July 2002. Second Reading.

/s/
Michael G. Fields
Mayor

ATTEST:

/s/
Sandra E. Cline
City Clerk

C:\WORK\OWSD\Design\Law The Program\A\Plat City of Cartersville 31-02.dwg 11/21/02 11:14 AM

GEORGIA BARTOW COUNTY
CLERK'S OFFICE SUPERIOR COURT
Filed by record this
11/21/02
Recorded in Plat Book No.
Page 24 of this
GUY-BELL, DEB.

PARKING COUNT

TOTAL PARKING SPACES = 263

SYMBOLS

- | | | | |
|--|--------------------------------|--|-----------------------|
| | DOUBLE WING CATCH BASIN (DWCB) | | GAS METER (GM) |
| | SINGLE WING CATCH BASIN (SWCB) | | GAS VALVE (GV) |
| | HEAD WALL (HW) | | CURB AND GUTTER (C&G) |
| | DROP INLET (DI) | | SPOT ELEVATION |
| | JUNCTION BOX (JB) | | ELECTRIC METER (EM) |
| | STORM DRAIN MANHOLE (SDMH) | | BELLMOUTH MANHOLE |
| | SAN. SEWER MANHOLE (SSMH) | | TELEPHONE BOX (TELB) |
| | CLEANOUT (CO) | | GA. POWER MANHOLE |
| | FIRE HYDRANT (FH) | | POWER POLE (PP) |
| | WATER VALVE (WV) | | LIGHT POLE (LP) |
| | IRRIGATION CONTROL VALVE (ICV) | | TRAFFIC POLE (TRP) |
| | WATER METER (WM) | | TRANSFORMER BOX (TX) |
| | SIGN | | RETAINING WALL |
| | BENCHMARK | | YARD INLET |

LEGEND

LINE TYPES

- | | | | |
|--|------------------------|--|-----------------------|
| | RIGHT-OF-WAY LINE | | BUILDING SETBACK LINE |
| | SUBJECT PROPERTY LINE | | CREEK LINE |
| | ADJACENT PROPERTY LINE | | OVERHEAD POWER LINE |
| | LAND LOT LINE | | U/G POWER LINE |
| | TREE LINE | | FENCE LINE |
| | STORM SEWER PIPE | | TELEPHONE LINE |
| | SANITARY SEWER | | FIBER OPTIC |
| | SANITARY SEWER LATERAL | | CABLE TELEVISION |
| | WATER MAIN | | TOPOGRAPHIC CONTOUR |
| | GAS MAIN | | |

LINE	BEARING	LENGTH
L62	N04°10'00"W	25.88
L63	N49°10'00"W	49.92
L64	N60°12'36"W	35.68
L65	N02°01'44"W	18.89

CURVE TABLE				
CURVE	RADIUS	LENGTH	BEARING	CHRD
C92	233.00	88.33'	N12°53'21"W	87.80
C93	117.00'	118.81'	N31°07'10"W	113.77'

F.B.03-02C-P.G.11-30

SHEET 2-OF-3

534-FPCOMM.dwg

FINAL PLAT FOR:
GROVE PARK
COMMERCIAL SITE

Land Lot 737,738,775 & 776
4th DISTRICT - 3rd SECT - BARTOW COUNTY, GEORGIA
CITY OF CARTERSVILLE

Project No. 00-534	No	Revision	Date
Surveyed By: W.J.B.	1		
	2		
Drawn By: M.O.F.	3		
	4		
Checked By: S.M.H.	5		
	6		
Date: 04/22/04	7		
	8		
Scale: 1" = 50'			

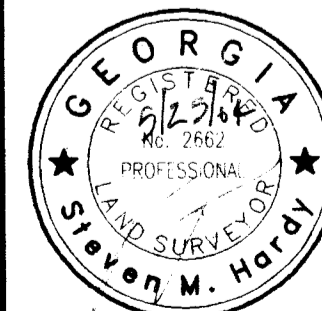
PINE GROVE LLC

P.O. BOX 1733
CARTERSVILLE, GEORGIA
30120

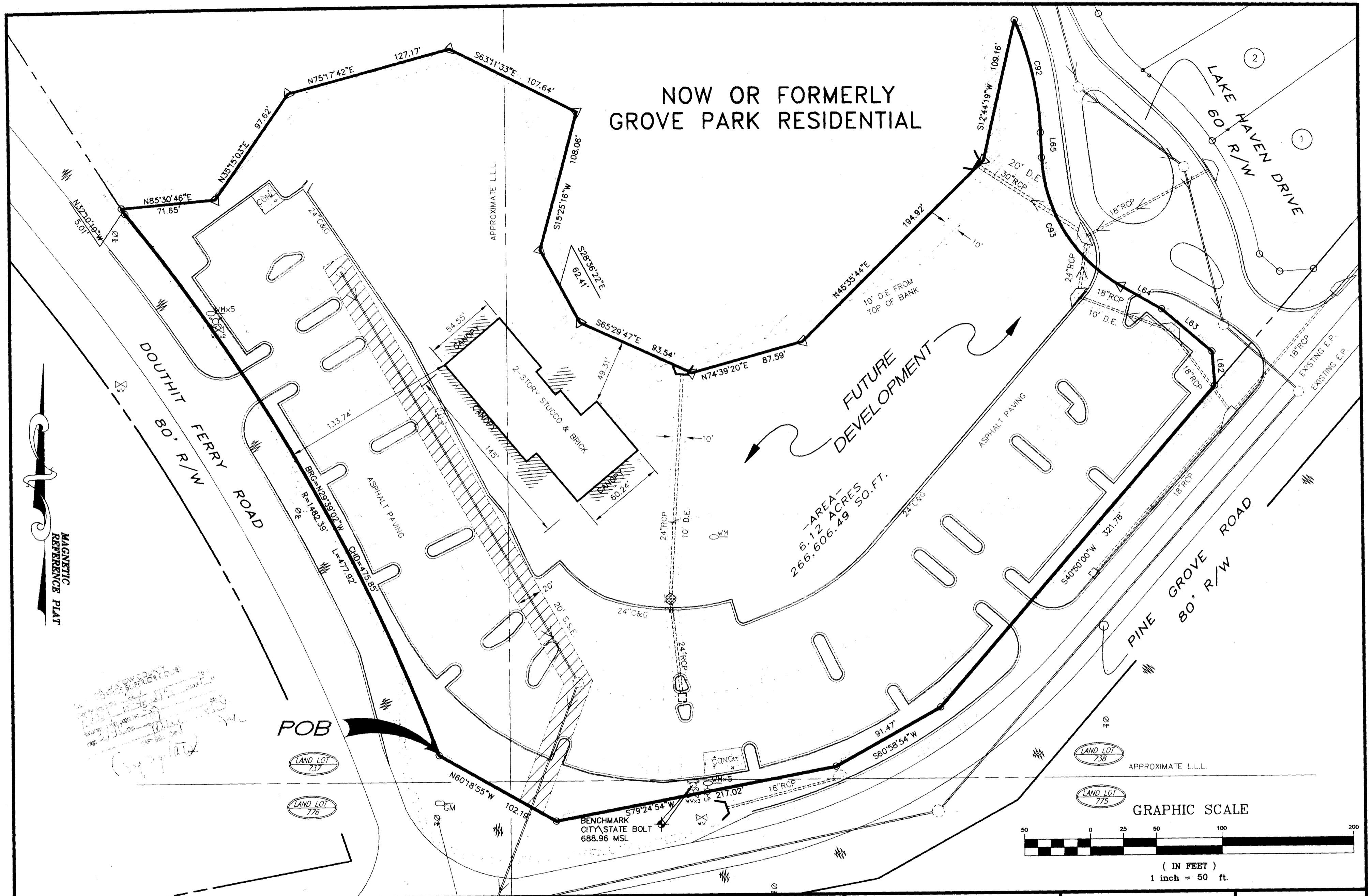
Office: 770-382-7255



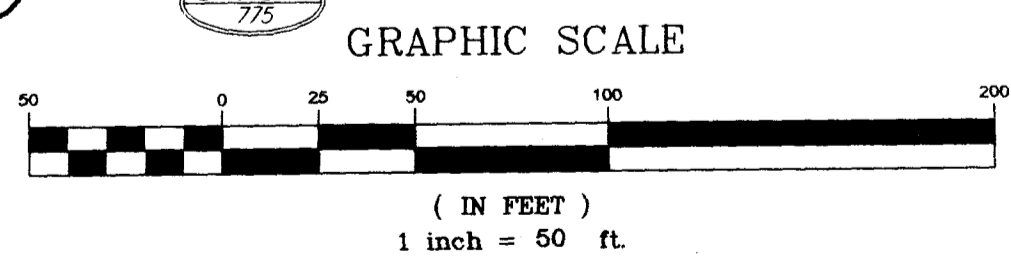
ONE DUNWOODY PARK, SUITE 205
ATLANTA, GEORGIA 30338
PH: 770-225-2121 FAX: 770-225-2222
5 PUBLIC SQUARE, SUITE 302
CARTERSVILLE, GEORGIA 30120
PH: 770-607-1300 FAX: 770-607-1333



NOW OR FORMERLY GROVE PARK RESIDENTIAL



AREA -
6.12 ACRES
266,606.49 SQ. FT.



F.B.03-02C-P.G.11-50
 SHEET 3-OF-3
 534-FPCOMM.dwg

FINAL PLAT FOR:
GROVE PARK COMMERCIAL SITE
 Land Lot 737, 738, 775 & 776
 4th DISTRICT - 3rd SECT - BARTOW COUNTY, GEORGIA
 CITY OF CARTERSVILLE

Project No.	No	Revision	Date
00-534	1		
Surveyed By: W.J.B.	2		
Drawn By: M.O.F.	3		
Checked By: S.M.H.	4		
Date: 04/22/04	5		
Scale: 1" = 50'	6		
	7		
	8		

PINE GROVE LLC
 P.O. BOX 1733
 CARTERSVILLE, GEORGIA
 30120
 Office: 770-382-7265


HIGHLAND ENGINEERING, INC.
 ONE DUNWOODY PARK, SUITE 205
 ATLANTA, GEORGIA 30338
 PH: 770-225-2121 FAX: 770-225-2222
 5 PUBLIC SQUARE, SUITE 302
 CARTERSVILLE, GEORGIA 30120
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